

# INSPECTION REPORT



For the Property at:  
**123 SAMPLE STREET**  
SAMPLEVILLE, ON

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Prepared for: JOE SMITH  
Inspection Date: Saturday, March 9, 2024  
Prepared by: Graham Mathers, CAHPI C2000793



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Providing great inspections for every client, every time.



March 8, 2024

Dear Joe Smith,

RE: Report No. 1272, v.0  
123 Sample Street  
Sampleville, ON

Thanks very much for choosing me to perform your home inspection. The inspection itself and the attached report comply with the requirements of the CAHPI National Standards of Practice (2012). Clients sometimes assume that a home inspection will include many things that are beyond the scope. I encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report includes many links to relevant technical articles including a detailed home reference section at the end.

For best results, save a copy of your PDF report to your computer/device. This will enable you to access the reference material online or offline without waiting for the report to reload.

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

Again, thanks very much for choosing me to perform your home inspection.

Sincerely,

Graham Mathers  
on behalf of  
Mathers Home Inspection

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# SUMMARY

123 Sample Street, Sampleville, ON March 9, 2024

Report No. 1272, v.0

[www.mathershomeinspection.com](http://www.mathershomeinspection.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

## Structure

### FLOORS \ Joists

**Condition:** • [Notches or holes](#)

**Implication(s):** Weakened structure

**Location:** Basement Utility Room

**Task:** Repair

**Time:** As soon as possible

## Electrical

### SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

**Condition:** • [Rust or water in panel](#)

**Implication(s):** Fire hazard | Electric shock

**Location:** Basement

**Task:** Repair

**Time:** As soon as possible

## Heating

### CHIMNEY AND VENT \ Masonry chimney

**Condition:** • [Spalling](#)

**Implication(s):** Material deterioration

**Location:** Roof

**Task:** Repair

**Time:** Less than 1 year

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

## Recommendations

### SLOPED ROOFING \ Asphalt shingles

1. **Condition:** • [Leak](#)

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** North Roof

**Task:** Correct

**Time:** As soon as possible



1. *Leak*

## Description

**General:** • Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced. We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of roofs.

**Sloped roofing material:** • Asphalt shingles

**Approximate age:** • 0-5 years

Recommendations

ROOF DRAINAGE \ Downspouts

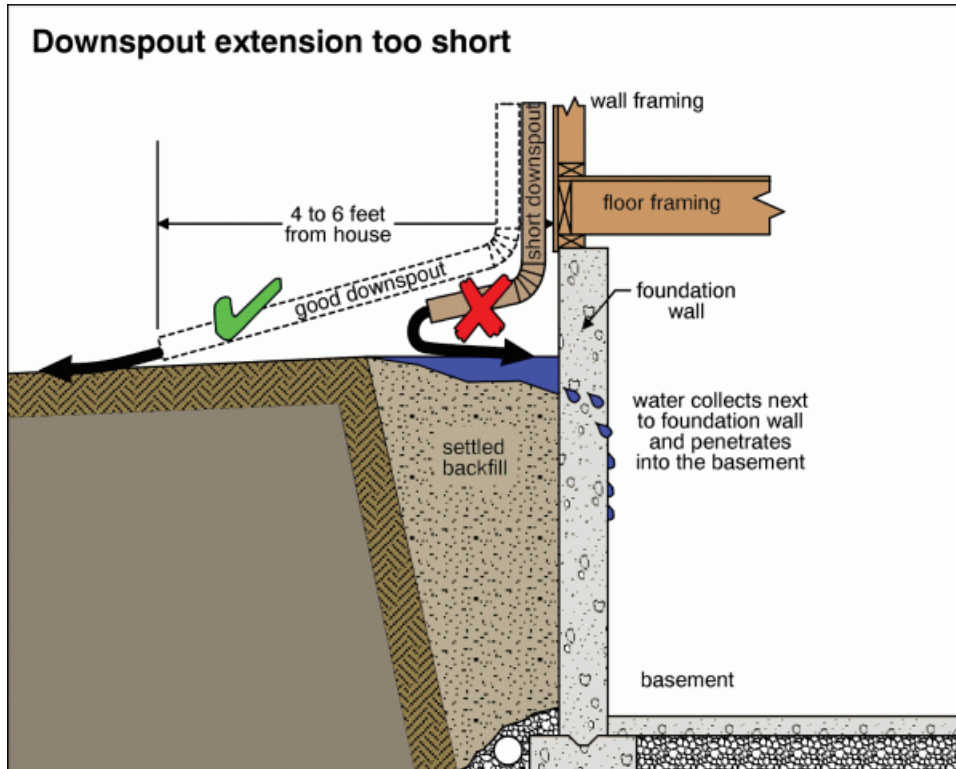
2. Condition: • [Should discharge 6 feet from building](#)

Implication(s): Chance of water damage to structure, finishes and contents

Location: West Exterior Wall

Task: Correct

Time: As soon as possible



2. Should discharge 6 feet from building

WALLS \ Flashings and caulking

3. Condition: • [Caulking missing or ineffective](#)



# EXTERIOR

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STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

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**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** South Exterior Wall

**Task:** Correct

**Time:** As soon as possible



3. Caulking missing or ineffective

## LANDSCAPING \ Patios

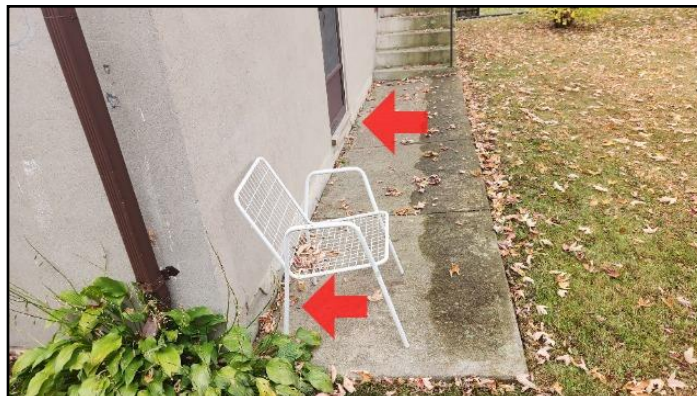
4. **Condition:** • Improper slope or drainage

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Rear Exterior Wall

**Task:** Correct

**Time:** As required



4. Improper slope or drainage

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EXTERIOR

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## Description

**General:** • Gutters and downspouts must carry water off the roof away from the building to prevent basement or crawl space leakage.

Ground that slopes toward the house can funnel surface water from rain and melting snow against the foundation walls. This can lead to basement or crawl space leakage. The ground around the house should slope down away from the building at a rate of at least 1 inch per foot for the first 6 feet out from the building.

**Gutter & downspout material:**

• [Aluminum](#)

Gutters were generally clean and debris free - check annually and clean as required



5. Aluminum

**Wall surfaces and trim:** • [Vinyl siding](#) • [Brick](#)

**Driveway:** • Asphalt

**Walkway:** • Concrete

## Limitations

**Not included as part of a building inspection:** • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Outbuildings other than garages and carports • A professional home inspection does not include advice with regards to zoning issues, bylaws, building code, parking, property lines, or whether or not work was done with permits, etc.

Recommendations

FLOORS \ Joists

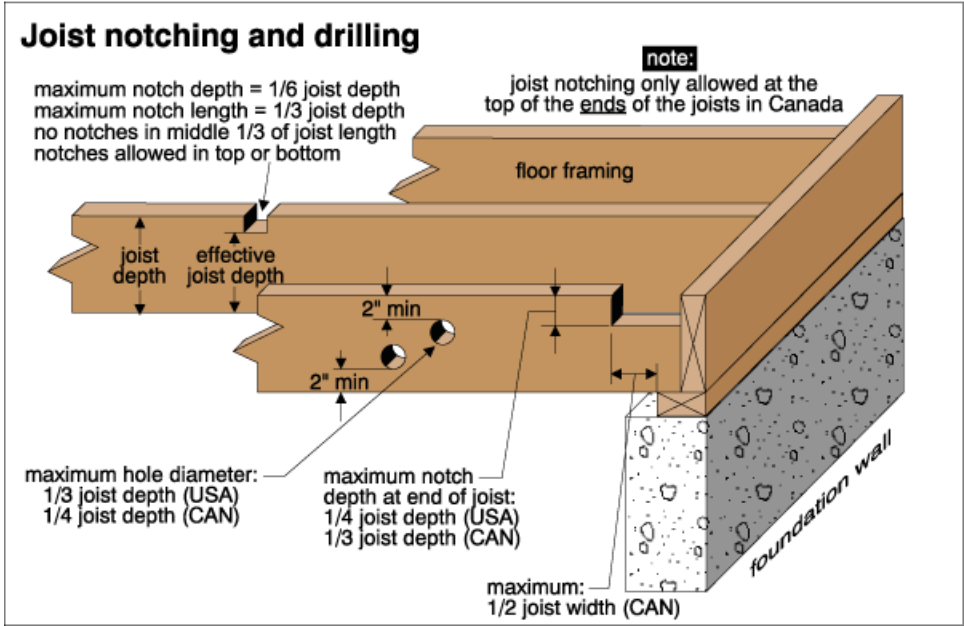
5. Condition: • [Notches or holes](#)

Implication(s): Weakened structure

Location: Basement Utility Room

Task: Repair

Time: As soon as possible



6. Notches or holes



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ROOFING

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## Description

**Configuration:** • Basement

**Foundation material:** • [Masonry block](#)

**Floor construction:** • [Joists](#) • Steel columns

**Roof and ceiling framing:** • [Trusses](#)

## Limitations

**Inspection limited/prevented by:** • Concealed and/or obstructed structural components not inspected. No engineering or structural analysis is performed during this inspection. A structural engineer should be consulted if necessary.

## Recommendations

### **SERVICE BOX, GROUNDING AND PANEL \ Distribution panel**

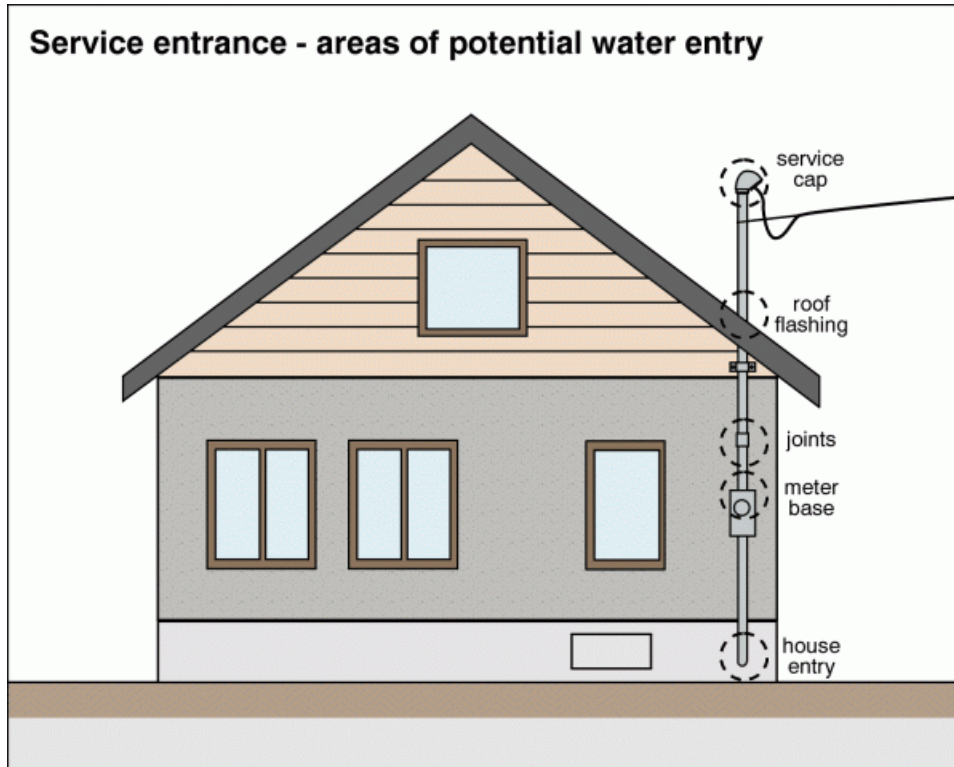
**6. Condition:** • [Rust or water in panel](#)

**Implication(s):** Fire hazard | Electric shock

**Location:** Basement

**Task:** Repair

**Time:** As soon as possible



**7. Rust or water in panel**

## DISTRIBUTION SYSTEM \ Junction boxes

**7. Condition:** • [Missing](#)

**Implication(s):** Fire hazard | Electric shock

**Location:** Basement Utility Room

**Task:** Provide

**Time:** As soon as possible



8. Missing junction box

## DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

**8. Condition:** • [Ensure an operational smoke detector and carbon monoxide detector are installed and operating as per local fire regulations.](#) For example, Kingston Fire & Rescue requires that homeowners have working smoke alarms on every storey of their home and outside all sleeping areas & have practiced home fire escape plan with everyone in their home. CO detectors should be present wherever gas fixtures are used.

Upon moving in, ensure that smoke and CO detectors are not expired and in working condition.

Any smoke detector older than 10 years should be replaced. Any carbon monoxide detector older than 5 years should be replaced.

## Description

**Service entrance cable and location:** • [Overhead](#)

**System grounding material and type:** • [Copper - water pipe and ground rod](#)

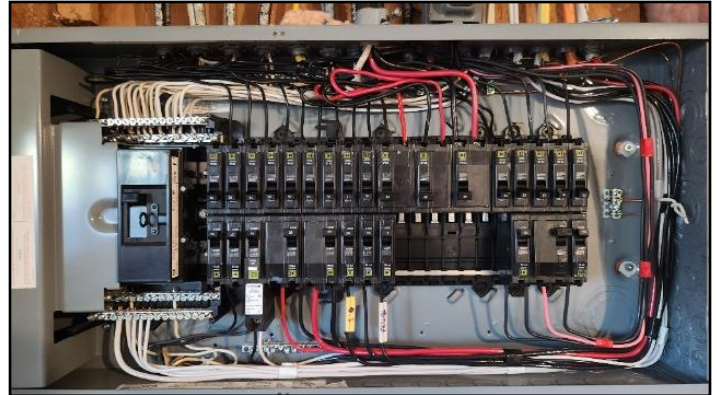
**Distribution panel type and location:** • [Breakers - basement](#)

**Distribution panel rating:**

• [100 Amps](#)



9. 100 Amps



10. 100 Amps

**Distribution wire (conductor) material and type:** • Copper was the only visible type of wiring

## Limitations

**Inspection limited/prevented by:** • Circuit labelling (if any) not assessed for accuracy

**Panel or disconnect covers:** • Home inspectors do not remove the cover for the main electrical disconnect, since this is not safe to do with the house power turned on, and we cannot turn the power off during the home inspection.

**System ground:** • Continuity not verified

**Not included as part of a building inspection:** • Concealed wiring (in walls, behind coverplates)

## Recommendations

### **GAS FURNACE \ Ducts, registers and grilles**

**9. Condition:** • [Disconnected ducts](#)

**Implication(s):** Increased heating costs | Reduced comfort

**Location:** Basement

**Task:** Correct

**Time:** As soon as possible



11. *Disconnected ducts*

**10. Condition:** • [Excessively long runs, excessive elbows](#)

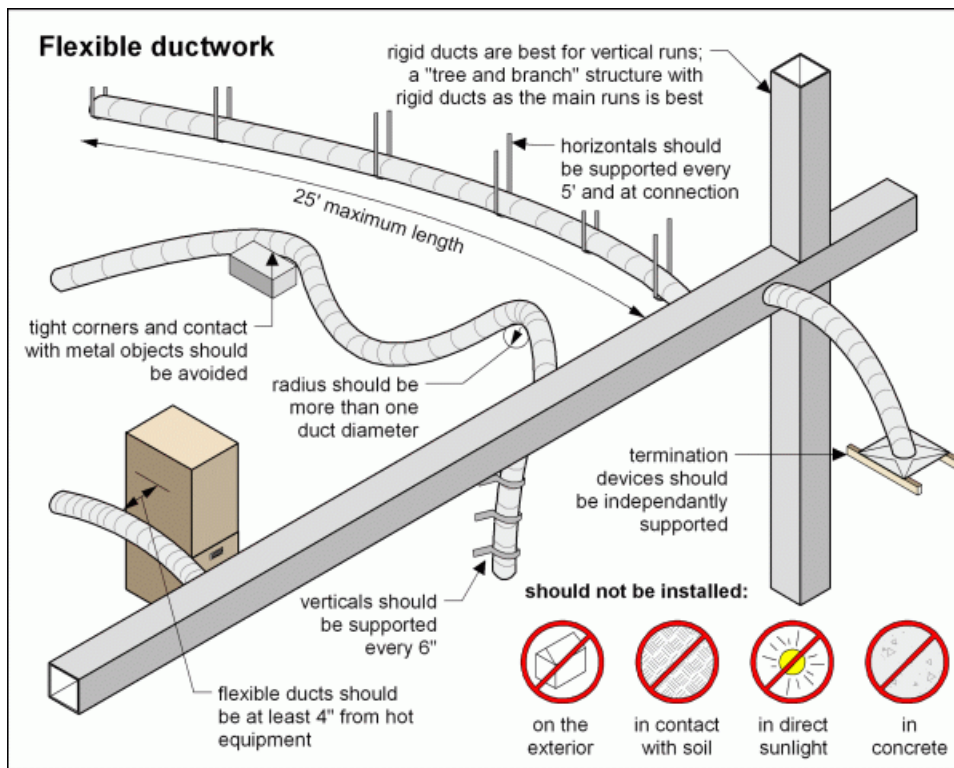
**Implication(s):** Increased heating costs | Reduced comfort

**Location:** Crawl Space

**Task:** Repair

**Time:** As required





12. Excessively long runs, excessive elbows

## CHIMNEY AND VENT \ Masonry chimney

11. Condition: • [Spalling](#)

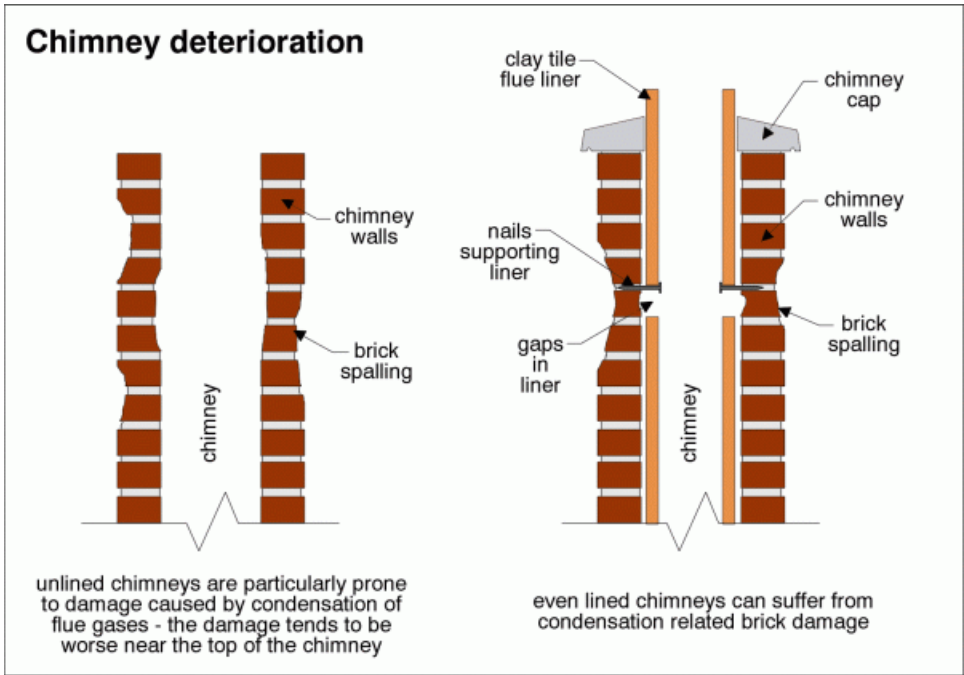
Implication(s): Material deterioration

Location: Roof

Task: Repair

Time: Less than 1 year

- SUMMARY
  - ROOFING
  - EXTERIOR
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  - ELECTRICAL
  - HEATING**
  - COOLING
  - INSULATION
  - PLUMBING
  - INTERIOR
- REFERENCE



13. Spalling

## Description

**General:** • [VIDEO: Changing your furnace filter](#)

**Heating system type:** • Furnace

**Fuel/energy source:**

- [Gas](#)

Manufactured in 2015

# HEATING

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STRUCTURE

ELECTRICAL

HEATING

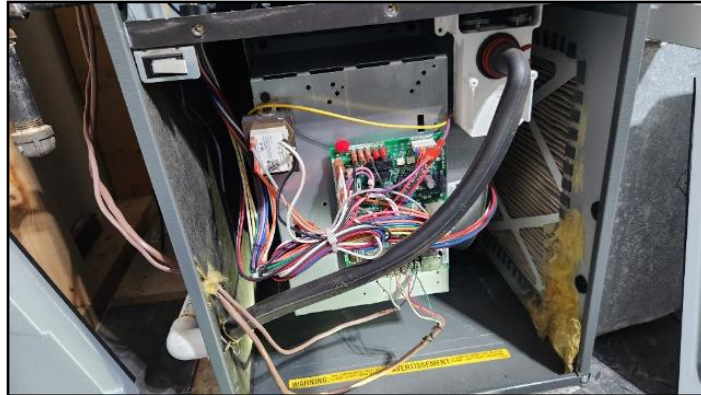
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



14. Gas

**Furnace manufacturer:** • Lennox

**Approximate capacity:** • [90,000 BTU/hr](#)

**Efficiency:** • [High-efficiency](#)

**Combustion air source:** • Outside

**Air filter:** • 16" x 25" x 1"

**Location of the thermostat for the heating system:** • Living Room

## Limitations

**Safety devices:** • Safety devices are not tested as part of a home inspection. These should be tested during annual servicing.

**Heat gain/loss calculations:** • Heat loss calculations are not performed as part of a home inspection. These calculations are typically performed by designers to determine the required size for heating systems prior to installation.

## Recommendations

### **AIR CONDITIONING \ Life expectancy**

**12. Condition:** • Past life expectancy

AC unit manufactured in 1996, while it functioned during the inspection - you should budget for replacement

**Implication(s):** Equipment failure | Reduced comfort

**Location:** Basement Exterior

**Task:** Replace

**Time:** When necessary



15. *Past life expectancy*

## Description

**Air conditioning type:** • Central

## Limitations

**Heat gain/loss calculations:** • Heat gain calculations are not performed as part of a home inspection. These calculations are typically performed by designers to determine the required size for air conditioning or heat pump systems.

## Recommendations

### ATTIC/ROOF \ Insulation

**13. Condition:** • [Gaps or voids](#)

**Implication(s):** Increased heating and cooling costs | Reduced comfort

**Location:** Attic

**Task:** Correct

**Time:** To save on heating/cooling expenses



16. Gaps or voids

## Limitations

**Attic inspection performed:** • From access hatch

**Roof ventilation system performance:** • Not evaluated

**Air/vapor barrier system:** • Continuity not verified

**Mechanical ventilation effectiveness:** • Mechanical ventilation effectiveness not verified (kitchen fans, bathroom fans, HRVs)



## Recommendations

### WASTE PLUMBING \ Drain piping - installation

**14. Condition:** • Unprofessional drain installation

**Implication(s):** Improper draining, leaks, sewer gases entering home

**Location:** Basement

**Task:** Repair, Evaluation by plumber

**Time:** As soon as possible



17. Unprofessional installation

**15. Condition:** • Plumbing drain missing abs adapter

**Implication(s):** Leaks, damage to materials or finishes

**Location:** First Floor Bathroom

**Task:** Correct

**Time:** Earliest opportunity



18. Missing fitting



19. Missing adapter

## Description

**General:** • [VIDEO: Checking the toilet flapper](#)

**Water supply source (based on observed evidence):** • Public

**Service piping into building:** • [Copper](#)

**Supply piping in building:** • [Copper](#) • [Plastic](#)

**Main water shut off valve at the:** • Front of the basement

**Water flow and pressure:** • [Functional](#)

**Water heater type:**

• Water hot at time of inspection



20. Water hot at time of inspection

• Tank

**Water heater tank capacity:** • [40 gallons](#)

**Water heater approximate age:** • 5 years

**Water heater typical life expectancy:** • 8 to 12 years

**Waste and vent piping in building:** • [Plastic](#) • [Cast iron](#)

**Pumps:** • [Sump pump](#)

**Exterior hose bibb (outdoor faucet):** • Present

## Limitations

**Items excluded from a building inspection:** • Water quality • Concealed plumbing

## Recommendations

### RECOMMENDATIONS \ General

**16. Condition:** • [Recommend installation of a dehumidifier than runs continuously. Most dehumidifiers have a garden hose attachment, which will drain water into a sink or a drain, so that the tank does not fill up and wont need to be emptied. I recommend these for all basements, as underground areas can tend to have higher humidity levels than above ground areas.](#)

### EXHAUST FANS \ General notes

**17. Condition:** • Dirty

**Location:** First Floor Bathroom

**Task:** Clean

**Time:** Earliest opportunity



21. Dirty

### APPLIANCES \ Dryer

**18. Condition:** • Dryer ducts should be inspected annually and cleaned as necessary to help reduce the risk of a fire, improve energy efficiency and reduce drying times.

**Implication(s):** Fire hazard

## Description

**Major floor finishes:** • [Hardwood](#) • Vinyl

**Major wall and ceiling finishes:** • [Plaster/drywall](#)

**Windows:** • [Fixed](#) • Vinyl

**Kitchen ventilation:** • Range hood discharges to the exterior

**Bathroom ventilation:** • Exhaust fan

## Limitations

**General:** • The following are not included as part of a home inspection: alarm systems, security systems, intercoms, central vacuum systems, cosmetic issues, appliances, water treatment systems, indoor air quality and concealed items.

**Inspection limited/prevented by:** • Storage/furnishings • Storage in closets and cabinets / cupboards • The interior of cupboards and cabinets are not included as part of a home inspection.

**Not included as part of a building inspection:** • Perimeter drainage tile around foundation, if any • Aesthetics or quality of finishes • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Window coatings and seals between panes of glass

**Appliances:** • Appliances are not inspected as part of a building inspection

**END OF REPORT**

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS

